

May 28, 2025

Amendment 3

Solicitation Number 25-01

Temporary School Facilities for Colegio Ponceño

Venegas Construction

May 23, 2025

1. Please clarify the door types in the following rooms:
 1. Swing door in the corridor between rooms 334 and 335 (Kindergarten)
1.1.Door #5
 2. Swing door in the corridor between rooms 331 and 332 (Pre-Kindergarten)
2.1.Door #5
 3. Sliding door in the closet between rooms 331 and 332 (Pre-Kindergarten)
3.1.Laminated semisolid door
 4. Sliding door in the closet between rooms 334 and 335 (Kindergarten)
4.1.Laminated semisolid door
 5. Swing door or gates to access the playground between rooms 331 and 334
5.1.See the clarification drawing for fences and gates.
 6. Swing door or gates to access the temporary school between rooms 330 and 331
6.1.See the clarification drawing for fences and gates.
 7. Swing door or gates to access the temporary school between rooms 325 and 326
7.1.See the clarification drawing for fences and gates.
 8. Swing door or gates to access the temporary school between rooms 317 and 322
8.1.See the clarification drawing for fences and gates.
 9. Swing door or gates to access the temporary school between rooms 308 and 312
9.1.See the clarification drawing for fences and gates.
 10. Swing door to access room 407 in the elementary school student bathrooms
10.1.Door #3
 11. Swing door to access room 407 in the high school student bathrooms
11.1.Door #3
 12. Swing door in the waiting room of room 120 (Finance)
12.1.Door #2
2. Please clarify the window types in the following areas:
 - 2.1.Kitchen 214 facing the mechanical patio
2.1.1.Window type B
 - 2.2.Office 217 of the Cafetorium facing kitchen 214
2.2.1.Full glass window
 - 2.3.Office 217 of the Cafetorium facing the loading and unloading area
2.3.1.Window type B
 - 2.4.Dining room 210 (the floor plan on sheet A-200 indicates Type A, but Section B and elevation on sheet A-212 indicate Type B)
2.4.1.Window type B

Serralles Construction

May 20, 2025

Div. I – General Condition

- a. Please clarify if security needs to be contemplated by GC.

Answer: The Contractor is responsible for his equipment and the project during the construction term.

- b. Please clarify if Water and electricity needs to be contemplated by GC and if there is going to be a staging area.

Answer: The owner will provide the water and electricity. The contractor will determine the staging area on the project field.

- c. Please clarify if we will be using David Bacon or actual executive order for labor fringes and waivers, please provide us with documentation.

Answer:

- d. Please specify if buy American is to be considered.

Answer: No

- e. Please Specify which insurances are to be contemplated.

Answer: See previous addendum.

- f. Please clarify if parking is to be paid or if a waiver for the construction duration will be given.

Answer: No parking fee to be paid.

- g. Please specify if compaction tests will be required, if so, please specify how many will be required.

Answer: Consider compaction to level all surfaces where the modular building will be installed. Fill/backfill purposes shall meet an A-2 classification as per ASHTO M145 standard. All backfill operations shall be supervised by a geotechnical engineer who is to certify the quality degree achieved.

- h. Please specify if project permitting signage should be considered by GC.

Answer: Yes

- i. Please specify if GC is responsible for the debris disposal certification payment.

Answer: Yes

- j. Please specify if construction patents and/or taxes should be considered.

Answer: Yes

- k. Please specify if any permitting coordination efforts should be considered by the GC.

Answer: No

- l. Please Provide the bid set with items marked as N.I.C to make sure what needs to be quoted.

Answer:

- m. Please confirm it will be quoting only the project from the drawing set design.

Answer: The contractor should consider the drawing set and addendums delivered during the Bid phase.

- n. Please confirm if the GC will need to consider the proposal of a surveyor to work for a proper site elevation.

Answer: The General Contractor should have a surveyor as a basic service.

- o. Please confirm the work hours & days. Also, if we can work on weekends.

Answer:The contractor will propose the time and schedule for the work to be done under his/her proposal.

p. Please confirm if the G.C will consider a geotechnical study for this project.

Answer: No study should be considered. All backfill operations shall be supervised by a geotechnical engineer who is to certify the quality degree achieved.

Div. 2 – Site Works

a. In the sheet AS-100, the proposal indicates that there will be a new parking area, but there are no details about what material will be used. Please provide more details on the parking area and materials to consider:

Answer: See answers in addendum #2.

b. Please confirm it will be an entrance for the GC machinery and supplies deliveries.

Answer:Yes, there will be access dedicated to the project.

Div. 3 - Concrete Works

a. Please provide structural drawings & details about footing, slab, rebar and concrete details to equally quote this item.

Answer: See answers and drawings in addendum #2.

Div. 5 –Metal Works

a. Please provide more details on structural steel connection methods.

Answer: See answer and drawings in addendum #2.

b. Please provide details of the metal siding GA number and if will be painted or mill finish to equally quote this item.

Answer: See answer and drawings in addendum #2.

Div. 6 –Wood and Plastic Works

a. Please confirm that all millworks are N.I.C.

Answer: See answer and drawings in addendum #2.

Div. 7 –Thermal and Moisture Protection Works

a. Please provide details about the roof sealing system.

b. Please provide details of the roof drains.

Answer: See answer and drawings in addendum #2

Div. 9 – Finishes

a. Please provide a finish schedule to proper quote all interior/exterior finish.

Answer: See answer and drawings in addendum #2. For general information, follow the basic description below:

- Interior Floors - polished concrete finished
- Exterior floors - fine broom finished
- Exterior side of walls - Metal siding panels with color

- Interior side of wall, furring walls, and other interior walls - Sheetrock, Mold tough panels, fire code resistance. Consider all the wall paintings.
- Wall bases - Rubber/Vynil wall bases, 4" height.
- Ceiling interiors - Suspended acoustic ceiling, similar to the model Ultima from Armstrong.
- Windows and Doors - see schedule sheet A-500

Div. 10 –Specialties Works

- Please confirm if the playground equipment will be N.I.C.

Answer: N.I.C.

Div. 15 –Mechanical Works

- Please confirm that the bathroom equipment & accessories are N.I.C.

Answer: For all accessories, consider American Standard basic equipment, ADA compliance for all items that apply. For Kindergarten and Pre-Kinder restrooms (333, 336), consider Toddler units.

Venegas Construction

May 26, 2025

- Please identify bathroom accessories B.1 to B.10 in the bathroom blow-ups.
Answer: For all accessories, consider American Standard basic equipment, ADA compliance for all items that apply. For Kindergarten and Pre-Kinder restrooms (333, 336), consider Toddler units.
- Please provide the blow-ups for the following restrooms: Boys Restroom 336; Girls Restroom 336; Infant Restroom 330; Cafetorium Restroom 213; Pavilion Building Restroom.
Answer:
- Provide the specifications (quantity and size) of the lockers in Room 212.
Answer: By owner
- Provide details of the following furniture: Administration Building Reception 100; Finance Building Kitchenette 125; Cafetorium Building Kitchen 214 (including all related rooms and shelf units); Faculty Building Kitchenette 253; Faculty Building Nursing Restroom 252.
Answer: Do not consider furniture on the proposal.
- Provide details of the miscellaneous steel elements (gates, fences, railings, handrails, etc.).
Answer: See attached drawings.
- Do the windows include insect screens?
Answer: Yes

Regarding the responses to Addendum No. 2:

7. Question 14: The renderings are still not available on the Colegio Ponceño website. Please upload them.

Answer: Ok

8. Question 18: We previously requested that the gridlines be marked on the plans, elevations, and sections. In Addendum No. 2, it states "In Revised Drawings," but the plans included in this Addendum do not contain the sheets with the gridlines marked.

Answer: See sheet S-2 with the typical grid lines and dimensions that apply for the modular system.

9. 19A: Please provide details for the 6-foot-high temporary chain-link fence (mesh gauge; diameter, thickness, and spacing of vertical pipes; diameter, thickness, and quantity of horizontal pipes; diagonal reinforcements, gates, etc.).

Answer: See attached drawings

10. Question 19B: Please provide details for the light fence at the temporary school entrance. Does this same detail apply to the Alternate Entrance?

Answer: See attached drawings

11. Question 19I: From what has been observed on site, several mature trees would need to be removed to accommodate the gravel employee parking area. How many trees in total would need to be removed? Is it the Proposer's responsibility, or will we receive the area already cleared and ready to begin work?

Answer: No trees should be removed. All new interventions will be around existing conditions.

12. Question 19L: We previously requested the scope of work in the Pavilion to accommodate the Physical Education facilities (offices, classroom, gym, and restrooms). Although Addendum No. 2 states "Please refer to the attached drawing," these drawings were not uploaded to the website. We need elevations and sections to help clarify the work. Sheet AS-101 shows it best, but a lot of information is missing to fully understand it. Is this a new construction over part of the existing court? Is it a basement to be modified beneath the existing court? If it is a modification area, does it include any demolition by the Proposer, or as indicated in Question 19Q, is there no demolition involved? There is also a lack of clarity regarding finishes, doors, etc.

Answer: That level is an existing condition on the Pavilion basement; selective demolition is required, and new construction for one classroom, 2 offices, and storage. See attached drawings.

13. Question 19O: Addendum No. 2 indicates that the structure south of the new court is not a gazebo, but it does not clarify what type of structure it is. Please clarify the scope of work related to this structure and provide its architectural and structural details. Or, based on the previous response, can we assume that there is no structure in that area?

Answer:The drawing represents a “Pergola”, proposed to be fabricated with aluminum extrusions and steel columns.

14. Question 19Q: Addendum No. 2 states that there is no demolition plan. We need clarification on the scope of demolition work. Or, based on the previous response, can we assume that there is no demolition within our scope? Who demolishes or removes the parts of the existing track that have structures on top of them? Is there no demolition within the pavilion building to adapt it for the Physical Education facilities? Who demolishes and disposes of the existing stair marked in red on sheet A-100? Who demolishes the portion required to construct the new Drop-Off Area? Please clarify and provide a demolition plan if there are demolitions included in our scope of work.

Answer:There is no existing track or parts of a track. The existing condition is gravel. For the Pavilion first level, see the attached drawings. Demolition of the existing stairs should be considered in the proposal. No demolition on the drop-off area.

15. Question 19R: There was a misinterpretation of this question. We need construction details for the trash station located at the northwest corner of the project (marked as No. 23 on sheet AS-100). Should we include any gate? Should we include the metal dumpster?

Answer: Consider a typical trash station for one dumpster with a capacity of 4 yards. Concrete floor 9' wide, x 8' deep, walls 6' height, and cyclone fence gate 6' height.

16. Question 19BB (last question on page 6): Clarification was requested regarding the fire rating of the doors in the project, and it was clarified that all doors must be 2 HR FR. How does this affect, for example, the wooden door frames? Should we still assume they are wood, as stated in the Door Schedule, or should we assume they are 2 HR FR-rated metal frames? Do the hardware items remain as shown in the Schedule, or must they be modified to comply with the specified fire rating?

Answer: Follow the door schedule.

17. Question 19BB and 20 (identified as 16 on page 7): This refers to the double entrance door to the Administration Building, Cafetorium, Library, and Store. This door is identified as 38" wide in the Schedule, but in the floor plans it appears to be 72" wide. According to Addendum No. 2's response, it is a double door in a 38" wide opening. On the other hand, the same Addendum states that these openings must also comply with the 2 HR FR requirement. Based on previous projects experience, a glass door meeting this rating can cost over \$400 per square foot. Please confirm if Door No. 7 is a double door in a 72" wide opening with 2 HR FR rating.

Answer: It is a storefront double door opening, 38" each door, with 2 HR FR rating.

18. Question 20 (identified as 17 on page 7): We requested a Finishes Schedule. It was indicated in Addendum No. 2's responses that the Owner will provide it. We hope to receive it as soon as possible so we can continue with our estimate and meet the new proposal submission deadline.

Answer: Clarification; New sheet A-301A was attached in Addendum #2. Descriptions of finishes are provided, and they should be applied to all similar modular spaces. See general description:

- Interior Floors - polished concrete finished
- Exterior floors - fine broom finished
- Exterior side of walls - Metal siding panels with color
- Interior side of wall, furring walls, and other interior walls - Sheetrock, Mold tough panels, fire code resistance. Consider all the wall paintings.
- Wall bases - Rubber/Vynil wall bases, 4" height.
- Ceiling interiors - Suspended acoustic ceiling, similar to the model Ultima from Armstrong.
- Windows and Doors - see schedule sheet A-500

Note: Clarification and/or revised drawings submitted with this addendum #3 are:

AS-100 PROPOSED SITE PLAN (REVISED)

AS-101 SCHOOL FLOOR PLAN (REVISED)

AS-102 ENTRANCE DROP-OFF AND MAIN GATE. (NEW)

A-100 ADMINISTRATION OFFICES (REVISED)

A-102 PHYSICAL EDUCATION PAVILION FIRST LEVEL (NEW)

A-500 DOOR AND WINDOWS SCHEDULE (REVISED)

COLEGIO PONCEÑO

TEMPORARY SCHOOL

CARR 14, PONCE, PUERTO RICO

COLEGIO PONCEÑO
OWNER
31-2023
PROJECT NUMBER
JULY 23, 2024
PRINTING DATE
CJO
DRAWN / APPROVED

CONCEPTUAL PHASE
PROJECT DESIGN PHASE
ADDENDUM #3-MAY 26, 2025

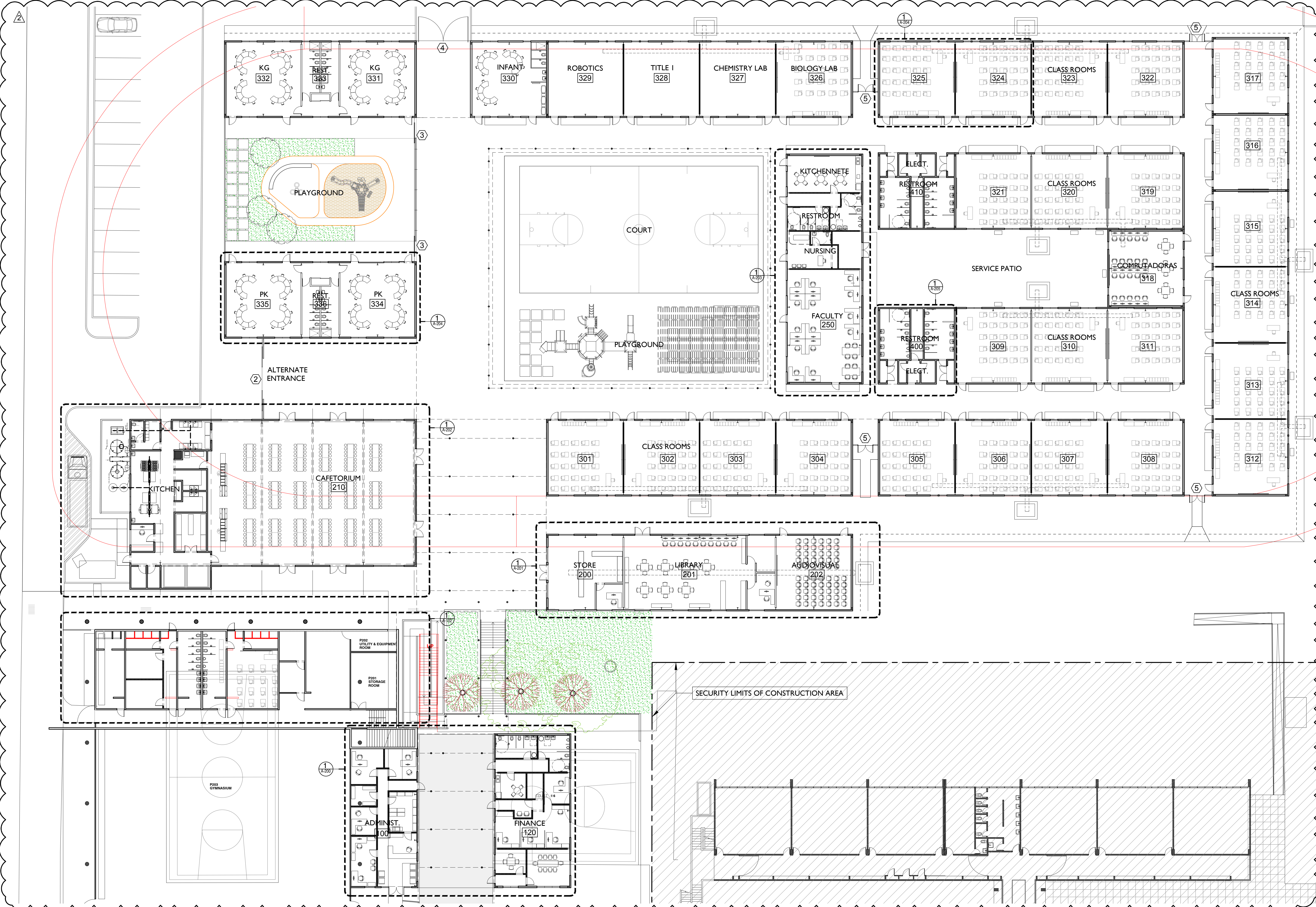
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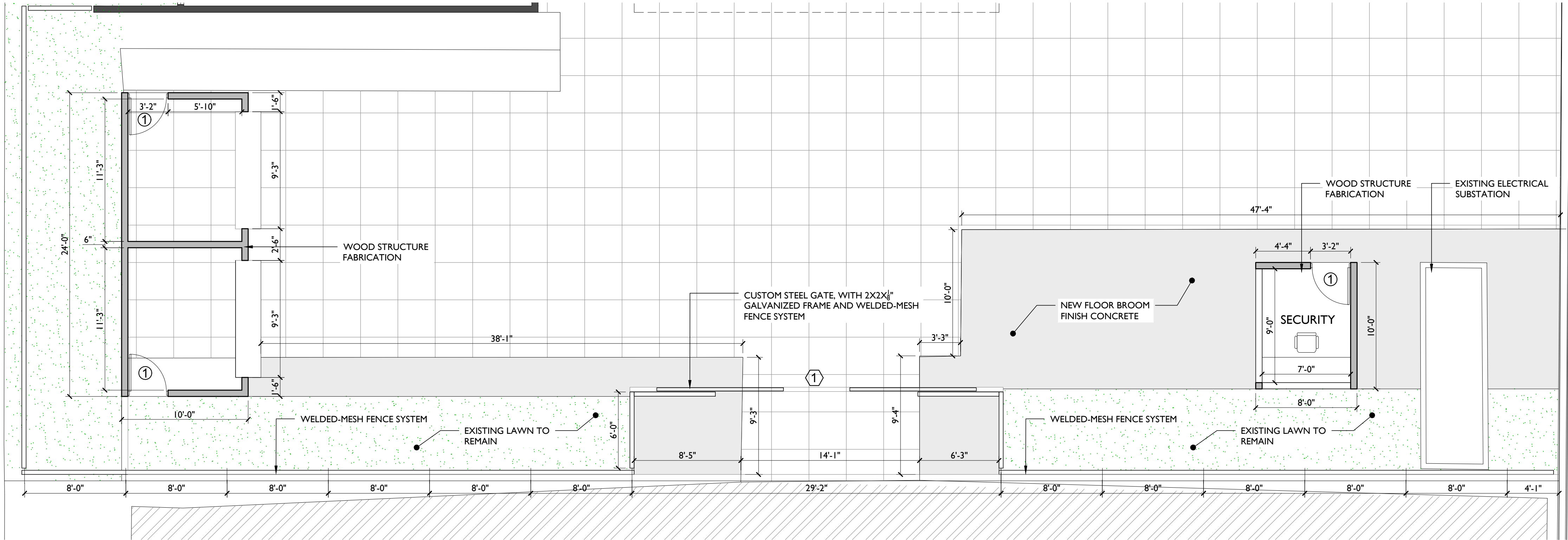
STATUS
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MASTER PLAN
SHEET TITLE

AS-101
SHEET NO.

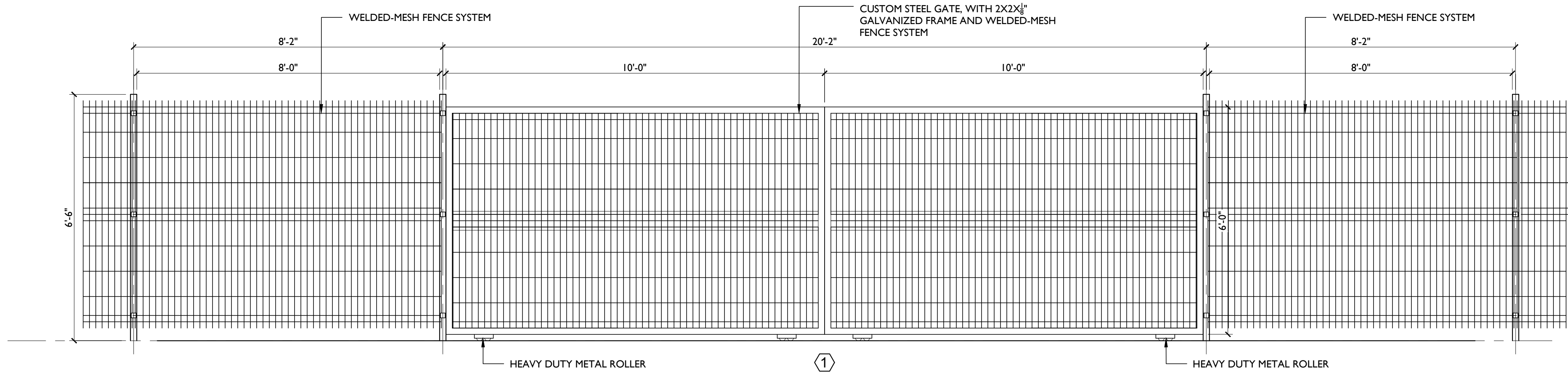
Amendment 3



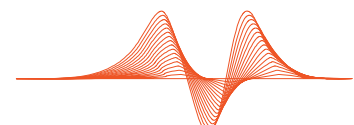
SCHOOL FLOOR PLAN
SCALE 1/16 = 1'-0"



MAIN ENTRANCE GATE ENTRANCE
SCALE 3/16= 1'-0"



MAIN ENTRANCE GATE AND FENCE
SCALE 1/2= 1'-0"



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CERTIFICATE



CERTIFICACION

Yo, CARLOS J. QUIRONES MAYME, INGENIERO LICENCIADO 18892, certifico que soy el profesional que diseño estos planos y las especificaciones complementarias. Tambien certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de las Agencias, Juntas Reglamentadoras o Corporaciones Publicas con jurisdicción.

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ADDENDUM #3-MAY 26,2025

DESIGN REVISION

NOT FOR CONSTRUCTION

STATUS

MAIN ENTRANCE GATE

SHEET TITLE

AS-102

SHEET NO.

GRAPHIC LEGEND

NEW GYPSUM BOARD WALL

FLOOR LEVEL CHANGE

10

SECTION ID

L1 - 2'x2' ACOUSTIC CEILING LIGHT

L2 - 2'x4' ACOUSTIC CEILING LIGHT

2'X2' ACOUSTICAL CEILING,
SIMILAR TO ARMSTRONG ULTIMA

0'-0"

CEILING HEIGHT

#

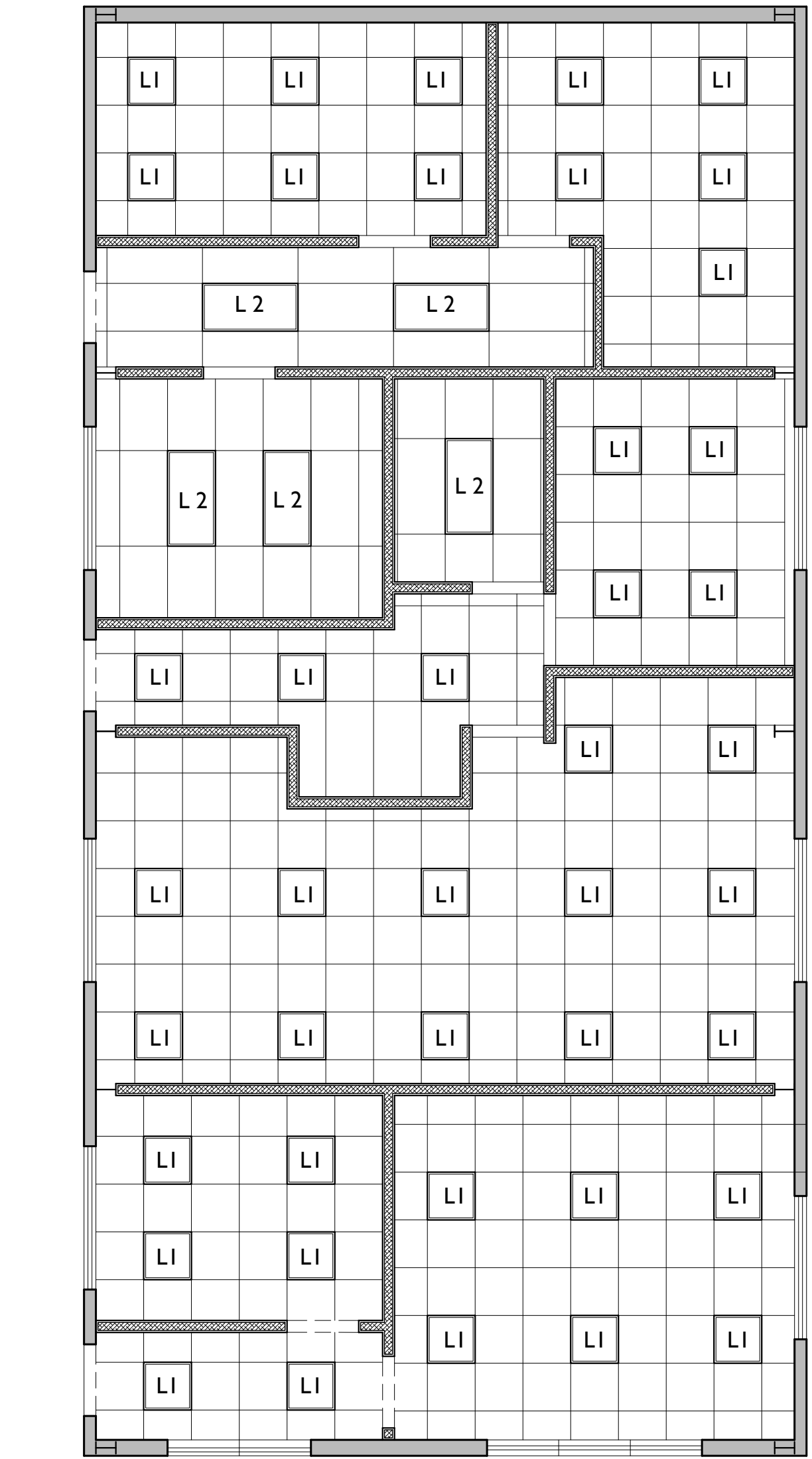
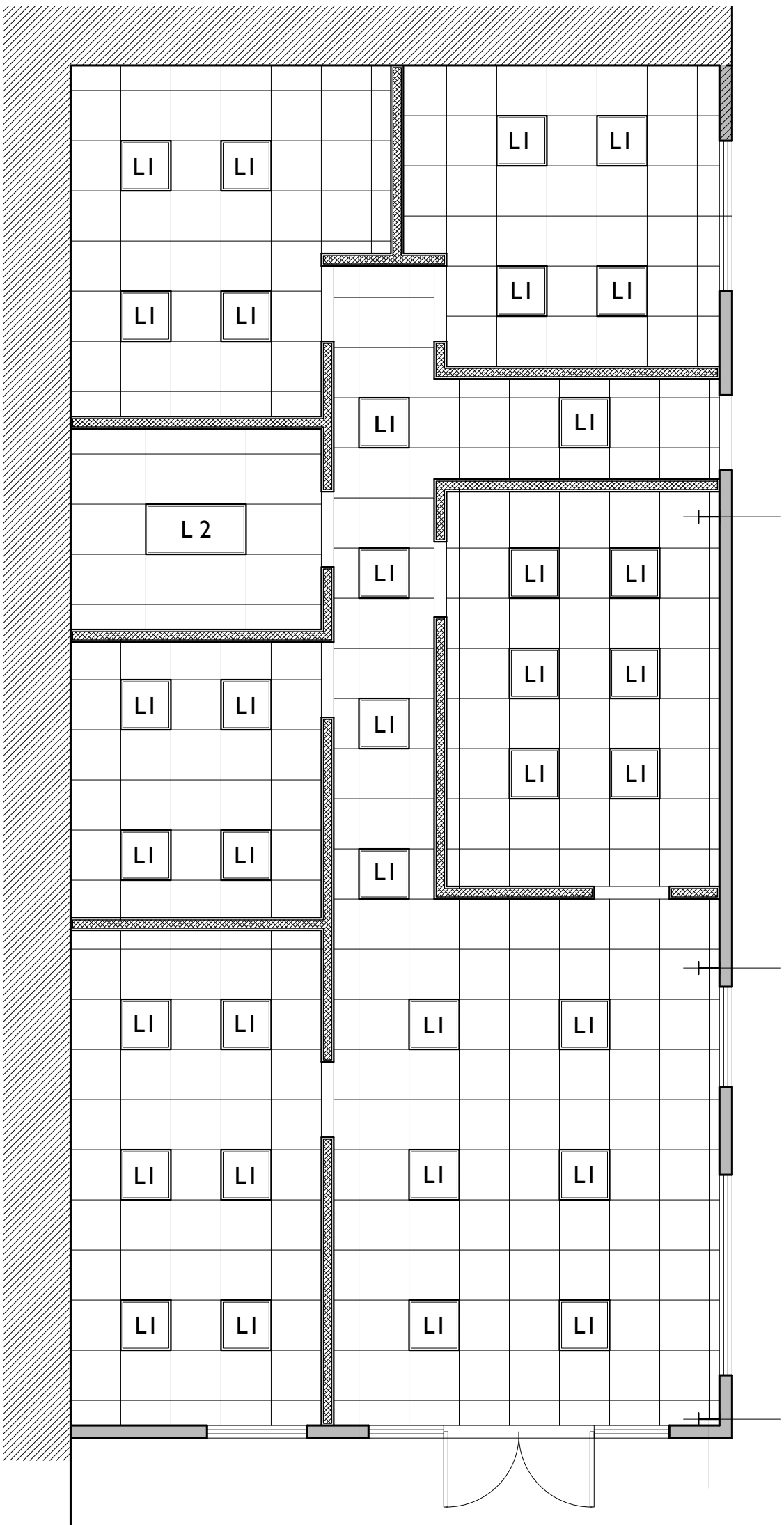
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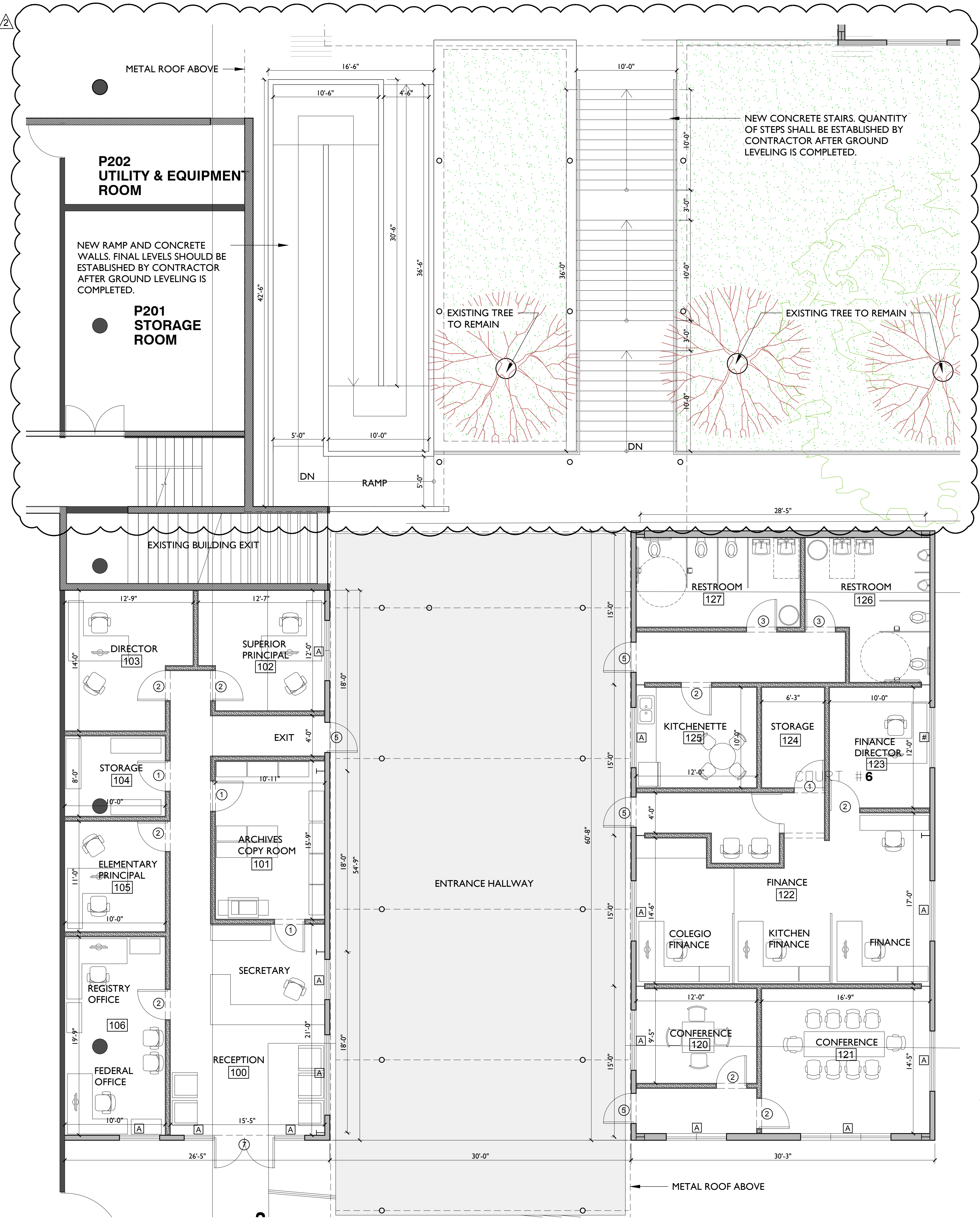
DOOR ID, METAL DOORS WITH
VIEW PANEL

#

WINDOW ID, ALUMINUM WITH
OPERABLE LOUVERS



ADMINISTRATION REFLECTED CEILING
SCALE 3/16= 1'-0"



ADMINISTRATION FLOOR PLAN
SCALE 3/16= 1'-0"

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CERTIFICATE

INGENIERO

LICENCIADO

CARLOS J. QUIÑONES MAYRE

LIC. 18892

PUERTO RICO

CERTIFICACION

Yo, CARLOS J. QUIÑONES MAYRE, INGENIERO LICENCIADO 18892, certifico que soy el profesional que diseño estos planos y las especificaciones complementarias. También certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con jurisdicción.

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CARR 14, PONCE, PUERTO RICO

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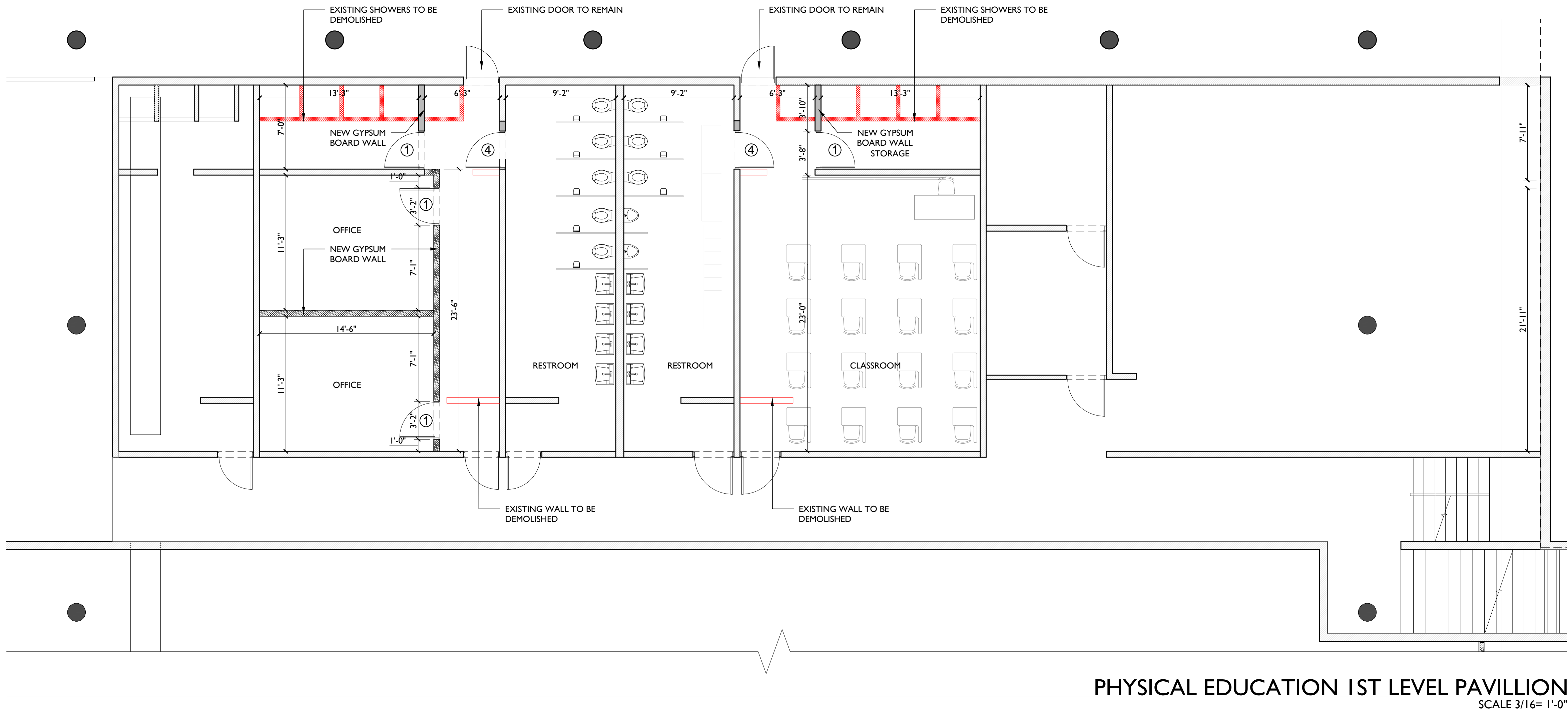
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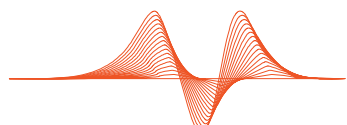
ADMINISTRATION OFFICES

SHEET TITLE

A-100

SHEET NO.





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CERTIFICACION
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INGENIERO LICENCIADO 18892, certifico
que soy el profesional que diseño estos planos
y las especificaciones complementarias.
También certifico que entiendo que dichos
planos y especificaciones cumplen con las
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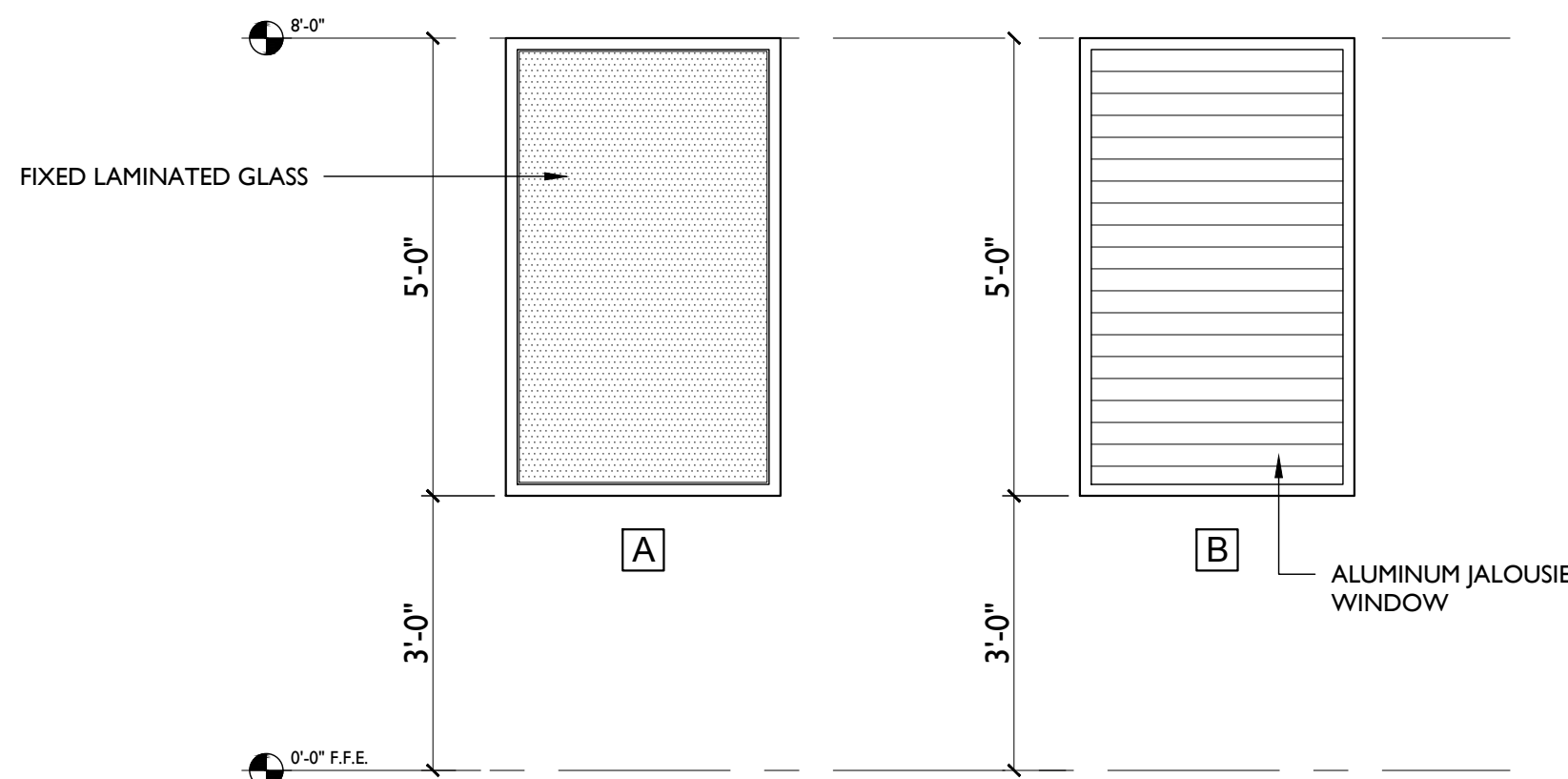
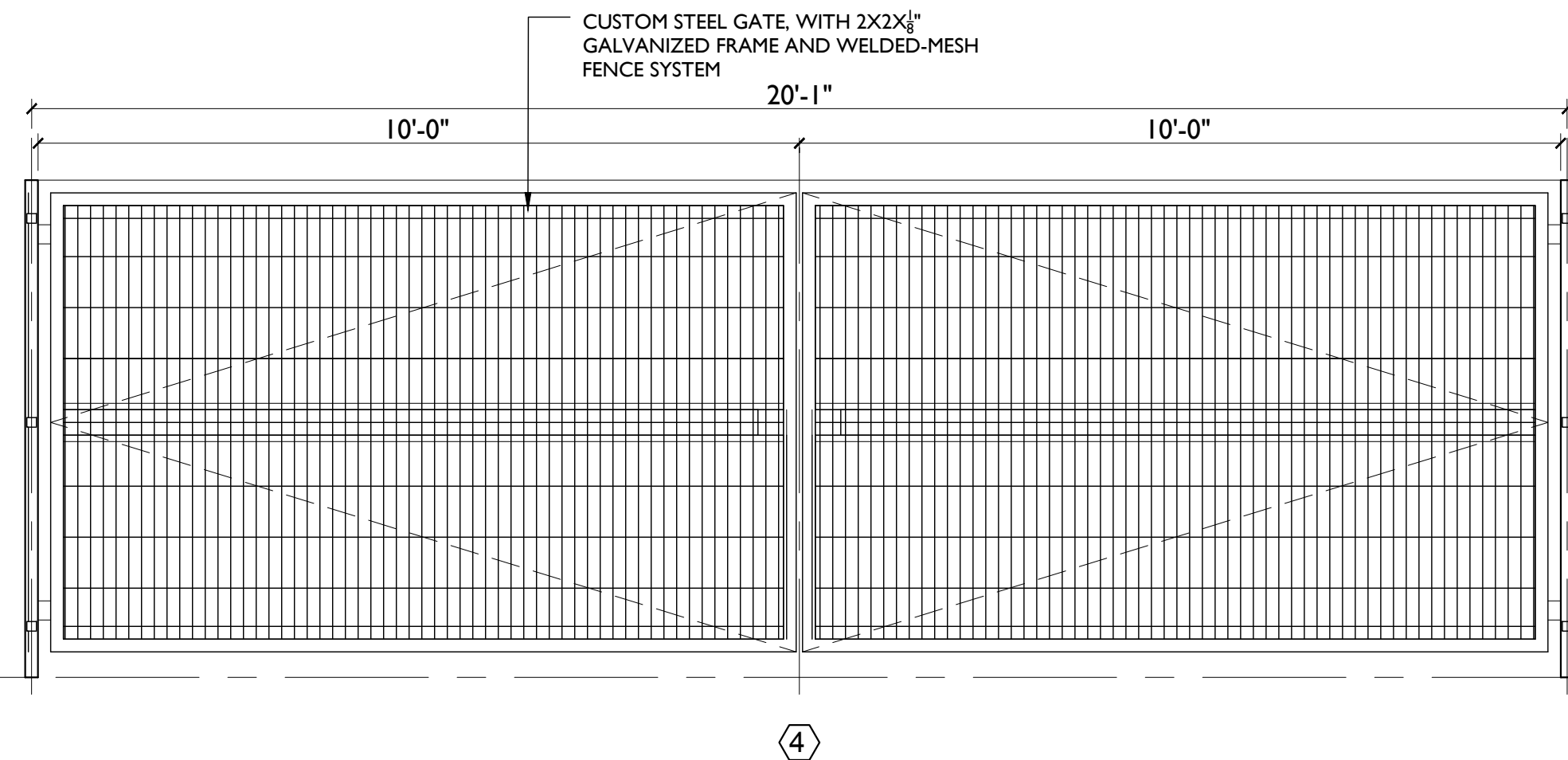
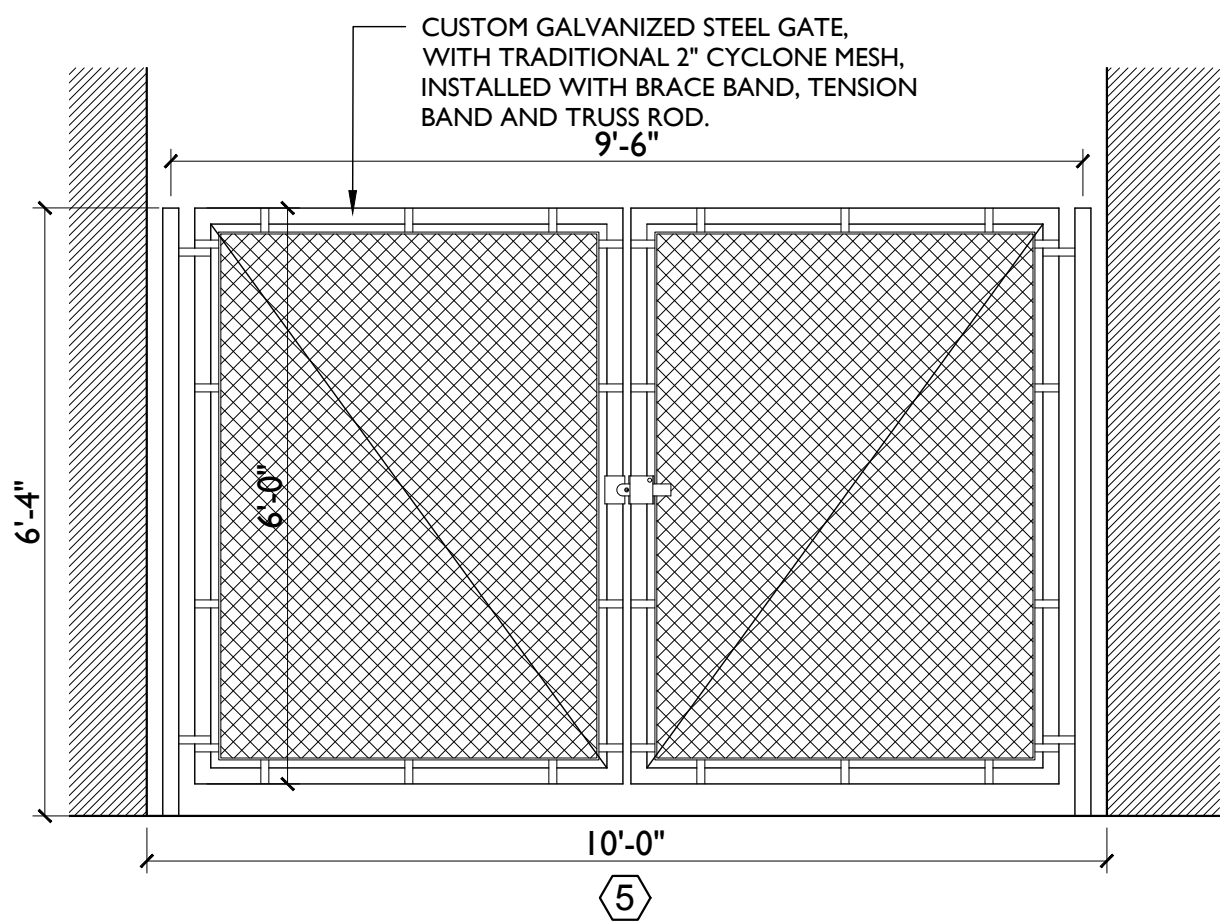
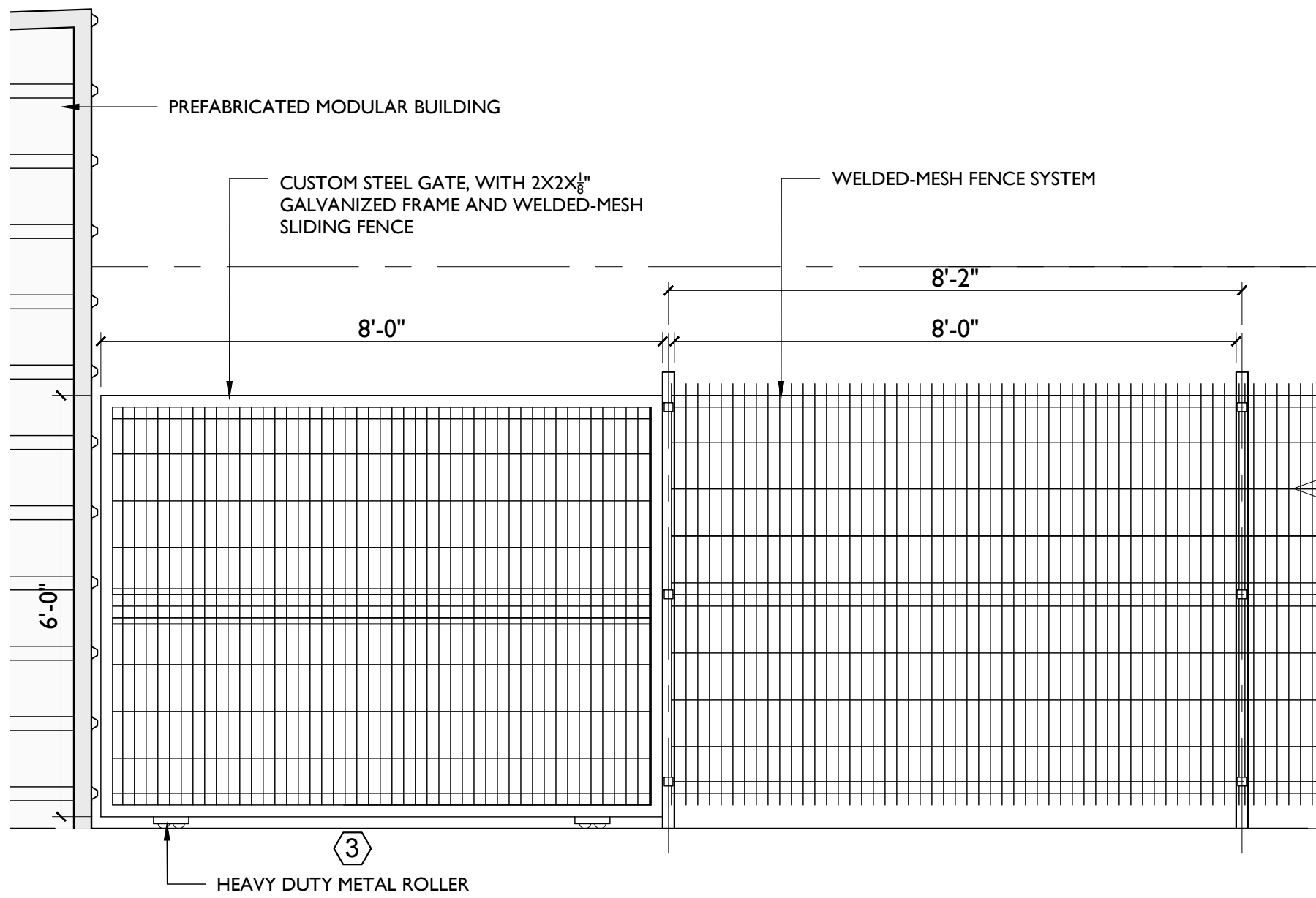
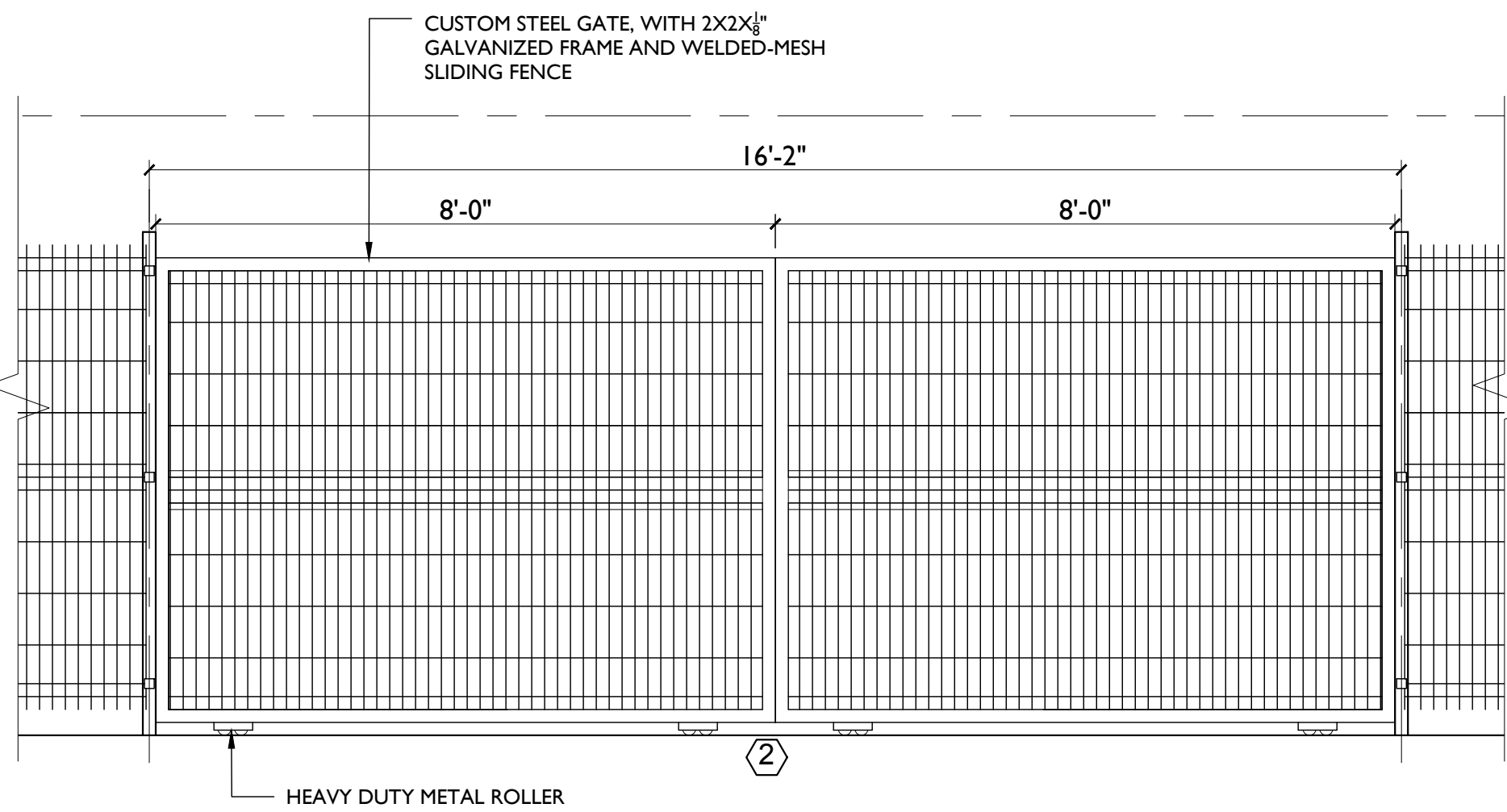
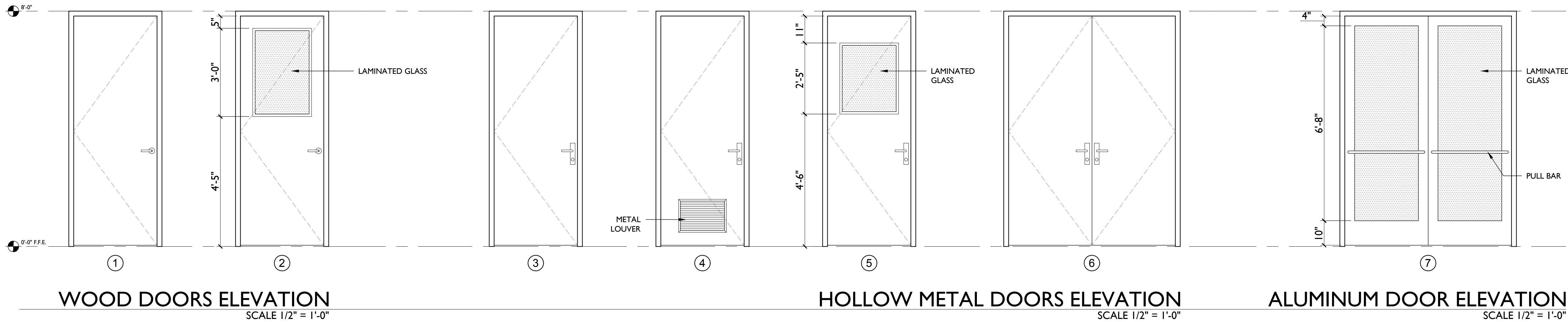
STATUS

MAIN ENTRANCE GATE

SHEET TITLE

A-102

SHEET NO.



DOOR SCHEDULE							
DOOR ID	DOOR		DOORS PER OPENING	MATERIAL	FRAME	HARDWARE	NOTES
	WALL OPENING	HEIGHT					
	WIDTH	HEIGHT					
①	3'-2"	8'-0"	1	SEMI-SOLID WOOD	WOOD	(3) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (1) - LEVER LOCKSET - MODEL: TL16	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED. APPLY SANDING SEALER. FINAL FINISH T.B.D.
②	3'-2"	8'-0"	1	SEMI-SOLID WOOD AND LAMINATED CLEAR GLASS	WOOD	(3) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (1) - LEVER LOCKSET - MODEL: TL16	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED. APPLY SANDING SEALER. FINAL FINISH T.B.D.
③	3'-2"	8'-0"	1	HOLLOW METAL DOOR COLOR T.B.D.	METAL - COLOR T.B.D.	(3) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (1) - MORTISE LEVER LOCKS - MODEL: YALE 8800 SERIES	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED
④	3'-2"	8'-0"	1	HOLLOW METAL DOOR WITH LOUVER - COLOR T.B.D.	METAL - COLOR T.B.D.	(3) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (1) - MORTISE LEVER LOCKS - MODEL: YALE 8800 SERIES	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED
⑤	3'-2"	8'-0"	1	HOLLOW METAL DOOR WITH GLASS PANEL VISION COLOR T.B.D.	METAL - COLOR T.B.D.	(3) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (1) - MORTISE LEVER LOCKS - MODEL: YALE 8800 SERIES	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED
⑥	6'-0"	8'-0"	2	HOLLOW METAL DOOR WITH LOUVER - COLOR T.B.D.	METAL - COLOR T.B.D.	(6) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (1) - MORTISE LEVER LOCKS - MODEL: YALE 8800 SERIES	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED
⑦	3'-2"	8'-0"	2	ALUMINUM - POWDER COATED COLOR T.B.D. LAMINATED CLEAR GLASS	ALUMINUM - POWDER COATED COLOR T.B.D.	(6) - 4" x 4" STAINLESS STEEL PLAIN BEARING HINGE (2) - TUBULAR PULL BARS (1) - MORTISE LEVER LOCKS - MODEL: YALE 8800 SERIES	PROVIDE THRESHOLD AS PER SUPPLIER STANDARD RECOMMENDATION / 2HR FIRE RATED

WINDOWS SCHEDULE							
WINDOW ID	WINDOW		WINDOWS SYSTEM	MATERIAL	FRAME	HARDWARE	NOTES
	WALL OPENING	HEIGHT					
	WIDTH	HEIGHT					
A	3'-0"	5'-0"	FIXED GLASS	ALUMINUM - COLOR T.B.D. 1/2" LAMINATED GLASS	ALUMINUM - COLOR T.B.D.	AS PER SPECIFIC REQUIREMENTS BY SUPPLIER	SEE ARCHITECTURAL PLANS FOR WINDOWS QUANTITIES PER OPENING
B	3'-0"	5'-0"	JALOUSIE WINDOW	ALUMINUM - COLOR T.B.D.	ALUMINUM - COLOR T.B.D.	AS PER SPECIFIC REQUIREMENTS BY SUPPLIER	SEE ARCHITECTURAL PLANS FOR WINDOWS QUANTITIES PER OPENING